

Sl. 1242/2020

I - 1176 / 2020



पश्चिमवङ्ग पश्चिम बंगाल WEST BENGAL

F 737389

Deba Prasad Ghosh

Jyoti Prasad Ghosh

Chauchar Ghosh

Subodh Ghosh

Beemta Ghosh

Prasanta Ghosh

Tandra Ghosh

Subroto Chatterjee (quod)

Patra Ghosh

Kaushik Ghosh

STAMPED CERTIFICATION

Subroto Chatterjee

STAMPED CERTIFICATION

Subroto Chatterjee

Page No. 1

R-2-954251/2020
Chirp
25.8.2020

DEED OF AGREEMENT FOR DEVELOPMENT

CERTIFIED THAT THE DOCUMENT IS ADMITTED TO REGISTRATION THE ENCLOSURE SHEET AND THE ENDORSEMENT SHEETS ATTACHED TO THIS DOCUMENT ARE PART OF THIS DOCUMENT

Chirp

REG. OFF. DIST. WEST BENGAL
25/8/2020

Deba Prasad Ghosh

Jyoti Prasad Ghosh
era. CLA. 01.08.81

Subrata Ghosh

Prasanta Ghosh

Tandra Ghosh

Subhra Chakraborty (Ghosh)

1

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Ratna Ghosh
Kaushik Ghosh

STHAPATYA CONSTRUCTION
PARTNER
Nambir

STHAPATYA CONSTRUCTION

Sudip Ghosh

THIS DEED OF AGREEMENT IS MADE ON THIS THE 25th DAY
OF AUGUST TWO THOUSAND TWENTY AT SILIGURI.

BETWEEN

1. SRI DEBAPRASAD GHOSH,
2. SRI JYOTI PRASAD GHOSH
3. SRI CHANCHAL GHOSH
4. SRI SUBRATA GHOSH
5. SRI SUSHANTA GHOSH
6. SRI PRASANTA GHOSH
7. MISS TANDRA GHOSH
8. SMT. SHUVRA CHAKRABORTY (GHOSH)
9. SMT. RATNA GHOSH
- 9a. SRI KAUSHIK GHOSH

No. 1 to 6 are sons of Late Pramatha Bhusan Ghosh, No. 7 is daughter of Late Pramatha Bhusan Ghosh, No. 8 is wife of Sri Ashis Chakraborty, No. 9 is wife of Late Ram Prasad Ghosh and No. 9a is sons of Late Ram Prasad Ghosh, all are Hindu by religion, Indian by National, resident of New Milan Pally, P.O. Siliguri Bazar, P.S. Siliguri, Dist. Darjeeling, Pin 734005 in the State of West Bengal – hereinafter referred to as the "FIRST PARTIES/OWNERS" (which expression shall mean and include unless excluded by or repugnant to the context their heirs, executors, administrators, legal representatives and assigns) of the FIRST PART. PAN – of No. 1 AGWPG8852G, No. 2 AEAPG9068A, No. 3 AUXPG8271E, No. 4 BLIPG4890G, No. 5 BBUPG2004C, No. 6 AGLPG3687J, No. 7 AHHPG3795J, No. 9 BBGPG6506D & No. 9a BBGPG6505A.

AND

Deba Anand Ghosh

Pyoti Prasad Ghosh
Charan Ghosh

Subir Chandra

Rusmita Ghosh

Prasanta Ghosh

Tandra Ghosh

Subir Chandra Ghosh
(Ghosh)

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Ratna Ghosh
Kanduk Choudhury

STHAPATYA CONSTRUCTION PARTNER

Vaumban

PARTNER

STHAPATYA CONSTRUCTION PARTNER

Subir Chandra Ghosh
PARTNER

STHAPATYA CONSTRUCTION", a Partnership firm, having its office at Dr. Himangshu Gupta Path, Deshabndhu Para, P.O. Siliguri, P.S. Siliguri, Dist. Darjeeling, Pin 734001 in the State of West Bengal, represented by its partner 1. **SRI VASKAR BISWAS**, son of Late Ajit Kumar Biswas and 2. **SRI SUBIR CHANDRA CHOWDHURY**, son of Late Sudhir Chandra Chowdhury, No. 1 residing at Satyen Bose Road, Deshbandhu Para, P.O. Siliguri Town, P.S. Siliguri, Dist. Darjeeling, Pin - 734004 and No. 2 residing at Dr. Himangshu Gupta Path, Deshabndhu Para, P.O. Siliguri, P.S. Siliguri, Dist. Darjeeling, Pin 734001 in the State of West Bengal - hereinafter called the "**DEVELOPER/ SECOND PARTY**" (Which expression shall mean and include unless excluded by or repugnant to the context its executors, successors, legal representatives, administrators and assigns) of the **SECOND PART**. PAN - ACZFS8504Q.

WHEREAS Sri Pramatha Bhusan Ghosh, son of Late Satish Chandra Ghosh was the absolute owner-in-possession of all that piece or parcel of land measuring 0.17 Acre, recorded under Khatian No. 1038, Plot No. 5051/5393, situated in Mouza - SILIGURI, J.L. No. 110(88), within the jurisdiction of Police Station - Siliguri, District Darjeeling by virtue of a Deed of Lease, executed by Smt. Amita Bala Roy Basunia, wife of Sri Dwipesh Lobhan Roy on 11-03-1957 and the same was registered in the office of the Sub - Registrar at Siliguri, recorded in Book No. I, Being Document No. 905 for the year 1957. Subsequently, after the enforcement of the West Bengal Estate Acquisition Act, 1953 the right of intermediaries was vested to the state as per the provision of Sec-4 of the said Act and the owner became the direct tenant under the State of West Bengal and under settlement operation as per the provision of Section 44 Under Chapter V Sub-Section (2) of the West Bengal Estate Acquisition Act, 1953, Record-Of-Right was prepared in the name of Sri Pramatha Bhusan Ghosh, son of Late Satish Chandra Ghosh under Khatian No. 1038, Plot No. 5051/5393, situated within Mouza- Siliguri, Paragana-Baikantapur, in the District of Darjeeling and he was possessing and enjoying the said land in his actual, khas and physical possession having permanent, heritable and transferable right, title and interest therein, free from all encumbrances and charges whatsoever and thereafter he sold and transferred his part of land to the intending purchaser and keeping the balance area of land measuring 0.1275 Acre in their khas, actual and physical possession.

Deba Prasad Ghosh

Jyoti Prasad Ghosh

Chanchal Ghosh

Subrata Ghosh

Sushanta Ghosh

Prasanta Ghosh

Tandra Ghosh

Shuvra Chakraborty
(Ghosh)

Page No.4

AND

Ratna Ghosh
Kaushik Ghosh

SHRIPATI CHAKRABORTY
1987/88

SHRIPATI CHAKRABORTY

Subin Ch Chakraborty
PARTNER

WHEREAS thereafter the above named Pramatha Bhusan Ghosh died intestate on 27-07-1987 leaving behind his seven sons namely Sri Debaprasad Ghosh, Sri Jyoti Prasad Ghosh, Sri Ram Prasad Ghosh, Sri Chanchal Ghosh, Sri Subrata Ghosh, Sri Sushanta Ghosh and Sri Prasanta Ghosh and two daughters namely Miss Tandra Ghosh and Smt. Shuvra Chakraborty (Ghosh), wife of Sri Ashis Chakraborty as his only legal heirs and successors to inherit his aforesaid total land measuring 0.1275 Acre in equal 1/9th undivided share in their khas, actual and physical possession having all permanent, heritable and transferable right, title and interest therein as per the provision of the Hindu Succession Act, 1956.

AND

WHEREAS thereafter the above named Ram Prasad Ghosh died intestate leaving behind his wife Smt. Ratna Ghosh and only son namely Sri Kaushik Ghosh as his only legal heirs and successors to inherit his 1/9th share of the aforesaid total land measuring 0.1275 Acre in equal 1/18th undivided share in their khas, actual and physical possession having all permanent, heritable and transferable right, title and interest therein as per the provision of the Hindu Succession Act, 1956.

AND

WHEREAS thus by virtue of inheritance Sri Debaprasad Ghosh, Sri Jyoti Prasad Ghosh, Sri Chanchal Ghosh, Sri Subrata Ghosh, Sri Sushanta Ghosh and Sri Prasanta Ghosh, all are sons of Late Pramatha Bhusan Ghosh, Miss Tandra Ghosh and Smt. Shuvra Chakraborty (Ghosh), wife of Sri Ashis Chakraborty, Smt. Ratna Ghosh, wife of Late Ram Prasad Ghosh and Sri Kaushik Ghosh, wife of Late Ram Prasad Ghosh became the absolute owners of the land measuring 0.1275 Acre, recorded under recorded under Khatian No. 1038, Plot No. 5051/5393, situated in Mouza - SILIGURI, J.L. No. 110(88), within the jurisdiction of Police Station - Siliguri, District Darjeeling and they are possessing and enjoying the said land in their khas, actual and physical possession having all permanent, heritable and transferable right, title and interest therein free from all encumbrances and charges whatsoever and thereafter they left a 4 feet wide passage to the eastern part of their land to

Subir Prasad Ghosh

Prati. Prasad Ghosh

Chiranjit Ghosh

Subant + wife

Aswanta Ghosh

Prasanta Ghosh

Tandra Ghosh

*Subhra Chandra Ghosh
(Ghosh)*

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*Ratna Ghosh
Kanduk Ghosh*

SILIGURIMUNICIPAL CORPORATION
Pranab
PARTNER

SILIGURIMUNICIPAL CORPORATION

Subir Ch Chatterjee
PARTNER

ingress and egress of their adjacent plot of land and they keeping the balance area of land measuring 6 Katha 13 Chhataks 10 Sq. ft. or 0.111283 Acre in their khas, actual and physical possession.

AND

WHEREAS the First Parties desirous to construct a P + four storied building on their aforesaid land measuring 6 Katha 13 Chhataks 10 Sq. ft. or 0.111283 Acre as describe in Schedule "A" consisting of residential flats/apartments/garage/car parking space etc. according to the drawing plans and specifications to be sanctioned by the Siliguri Municipal Corporation and/or any other appropriate authorities according to law but they are not being in a position to put their contemplation and scheme into action due to devoid of technical knowledge and shortage of fund and has approached the Second Party/Developer to promote/ develop the said property by constructing P + four storied building on their said land measuring 6 Katha 13 Chhataks 10 Sq. ft. or 0.111283 Acre.

AND

WHEREAS the Second Party finding the offer of the First Parties is reasonable and relying on the aforesaid facts accepted the offer of the First Parties to build the said P + four storied building within a stipulated period in terms of this agreement.

AND

WHEREAS the Second Party/Developer has offered the First Parties to allot six flats, one measuring 705 Sq. ft. bearing No. 2D at the Second Floor and another measuring 715 Sq. ft. bearing No. 2E at the Second Floor and another measuring 710 Sq. ft. bearing No. 2F at the Second Floor and another measuring 714 Sq. ft. bearing No. 2G at the Second Floor and another measuring 715 Sq. ft. bearing No. 4E at the Fourth Floor and another measuring 714 Sq. ft. bearing No. 4G at the Fourth Floor including proportionate share of staircase, lift area, and super built up area and three parking space, one measuring 117 Sq. ft. bearing No. "A" and another measuring 606 Sq. ft. bearing No. "C" and another measuring 155 Sq. ft. bearing No. "F" at the Ground Floor of the proposed P + four storied building

Deba Prasad Ghosh

Jyoti Prasad Ghosh

Chanchal Ghosh

Sushanta Ghosh

Susanta Ghosh

Prasanta Ghosh

Tandra Ghosh

Subira Chatterjee
(Ghosh)

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Ratna Ghosh

Kaushik Ghosh

Smt. Ratna Ghosh
PARTNER

PARTNER

SHRIPATIYA CAVALRY

Subira Chatterjee
PARTNER

including undivided proportionate share of the land which is specifically mentioned in the Schedule - "A" below and the said flat shall be allotted in the following manner: -

- i. That the First Party No. 1 i.e. Sri Debaprasad Ghosh shall get one flat measuring 715 Sq. ft. (approx) bearing Flat No. "2E" at the Second Floor including proportionate share of stair case and super built up area of the proposed P + four storied building.
- ii. That the First Party No. 2 i.e. Sri Jyotiprasad Ghosh shall get one flat measuring 710 Sq. ft. (approx) bearing Flat No. "2F" at the Second Floor including proportionate share of stair case and super built up area of the proposed P + four storied building.
- iii. That the First Party No. 5 i.e. Sri Sushanta Ghosh shall get one flat measuring 714 Sq. ft. (approx) bearing Flat No. "2G" at the Second Floor including proportionate share of stair case and super built up area of the proposed P + four storied building.
- iv. That the First Party No. 6 i.e. Sri Prasanta Ghosh shall get one flat measuring 705 Sq. ft. (approx) bearing Flat No. "2D" at the Second Floor including proportionate share of stair case and super built up area of the proposed P + four storied building.
- v. That the First Party No. 3 i.e. Sri Chanchal Ghosh shall get one flat measuring 714 Sq. ft. (approx) bearing Flat No. "4G" at the Second Floor including proportionate share of stair case and super built up area of the proposed P + four storied building.
- vi. That the First Party No. 9 & 9a i.e. Smt. Ratna Ghosh and Sri Kaushik Ghosh shall get one flat measuring 715 Sq. ft. (approx) bearing Flat No. "4E" at the Fourth Floor including proportionate share of stair case and super built up area of the proposed P + four storied building.

AND

Deba Banarjee Ghosh

Prati Banarjee Ghosh

Chandra Ghosh

Sudhakar Ghosh

Basant Ghosh

Prasanna Ghosh

Tarun Ghosh

Subhra Chatterjee by
(Ghosh)

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Ratna Ghosh

Kaushik Ghosh

SUBRAJIT CHATTERJEE
Vaidya

ADVOCATE

STRIPATYA CONSTITUTIONAL

Subin Chatterjee
PARTNER

WHEREAS the First Parties on being satisfied by the said offer made by the Second Party/Developer has accepted the same and have agreed that except the flat offer to them of the P + four storied building shall belong to the Developer to be disposed off as desired by the Developer.

AND

WHEREAS the First Parties further declares that the below schedule land are not acquisitioned/requisitioned either by the Central Government or State Government and no part of the same is under alignment or have been vested in the Government and title to the property is remaining free from all encumbrances and the First Parties have good marketable and indefeasible title to the same.

AND

WHEREAS to avoid future disputes and ambiguity regarding the meaning of certain words and phrases used in the presents are define as follows: -

Building shall mean the R.C.C. brick built P + four storied building including ground floor to be constructed on the said plot of land marked "A" in the below schedule, according to the Drawing Plans and specifications approved and signed by the First Parties or their constituted attorney and to be sanctioned by the Siliguri Municipal Corporation and any other authority and constructed in conformity therewith.

Architect/Engineer shall mean person appointed or nominated by the Second Party for the purpose of Supervision of the works of the said P + four storied building and all the remunerations of such Architect/Engineer shall be borne by the Second Party.

Building plan shall mean drawing plan and specification for the construction of the said building on the said plot of land marked as "A" in the below schedule to be sanctioned by the Siliguri Municipal Corporation and any other authority and /or renewal or amendments thereto and/or modification thereof made or caused to be made by the Developer or after approval of the First Parties and/or any other Govt. authority.

Deba Basud Ghosh

Prati. Basud Ghosh

Ch. Ch. Ghosh

Sukanta Ghosh

Suman Ghosh

Prasanta Ghosh

Tandra Ghosh

Subho-Chandro Ghosh

Page No.8

Alina Ghosh

Kaushik Ghosh

STHAPATIYA CONSTRUCTION
Vaidya
PARTNER

STHAPATIYA CONSTRUCTION

Subin C. Chatterjee
PARTNER

Common area and facilities shall mean items mentioned in Section 3(D) of the West Bengal Apartments Ownership Act, 1972.

Common expenses shall mean the proportionate share of all grounds rent, property maintenance charge and dues and outgoing paid by the First Parties and other purchasers/owners of other flats All other common expenses within the meaning of the West Bengal Apartments Ownership Act, 1972 in respect of their flats/garage etc as may be determined jointly by the owner and the Developer until an Association of Flat owners be formed by the First Parties and transferees/purchasers/owners of all other flats in the said building.

Transfer with its grammatical variations and cognate expressions shall mean transfer by way of Sale of flats and space excepting the First Parties allocation to be transferred by the Developer for consideration to the intending transferee/ transferees/purchasers in the said building.

Transferee/purchaser shall mean purchaser to whom any flat/garage in the said building may be transferred or sold for consideration.

That the said plot of land shall mean all that piece or parcel of land particularly mentioned in the schedule "A" herein below.

NOW THIS AGREEMENT WITNESSETH AND IT IS HEREBY AGREED BY AND BETWEEN THE PARTY AS FOLLOWS: -

- 1) That in pursuance of this agreement the Land Owners/ First Parties hereby grant an exclusive right to the Developer to build a P + four storied building containing self contained flats.
- 2) That the Developer upon execution of this agreement agrees to allot six flats, one measuring 705 Sq. ft. bearing No. 2D at the Second Floor and another measuring 715 Sq. ft. bearing No. 2E at the Second Floor and another measuring 710 Sq. ft. bearing No. 2F at the Second Floor and another measuring 714 Sq. ft. bearing No. 2G at the Second Floor and another measuring 715 Sq. ft. bearing No. 4E at the Fourth Floor and another measuring 714 Sq. ft. bearing No. 4G at the Fourth Floor including proportionate share of staircase, lift area, and super built up

Alaka Prasad Ghosh

Jyoti Prasad Ghosh

Charu Chandra Ghosh

Subrata Ghosh

Samita Ghosh

Parasmita Ghosh

Tantra Ghosh

Subhra Chandra Ghosh
(Ghosh)

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Ratna Ghosh

Kaushik Ghosh

STHAPATIYA CONSTRUCTION PARTNERS
Nambir

STHAPATIYA CONSTRUCTION PARTNERS

Sudhir Chatterjee
PARTNER

area and three parking space, one measuring 117 Sq. ft. bearing No. "A" and another measuring 606 Sq. ft. bearing No. "C" and another measuring 155 Sq. ft. bearing No. "F" at the Ground Floor of the proposed P + four storied building including undivided proportionate share of the land, which shall be completed in all respects in accordance with the sanctioned plan free of costs/charges/ encumbrances on the said land as mentioned in the schedule "A" herein below to be developed by the Developer within 30 (thirty) months from the date of sanction of building plan from the Siliguri Municipal Corporation as well as vacation and handing over the below schedule land unto and in favour of the Second Party.

- 3) That the First Parties shall grant an exclusive right to the developer to build up on the said plot of land in accordance with the drawing plan signed and by the Vendors/First Parties or their constituted attorney and to be prepared by the Developer and the same to be sanctioned by the Siliguri Municipal Corporation and in conformity with the said details of construction and to sell and transfer the said flats and/or garage (excluding the First Parties allocation) to the intending purchaser and/or purchasers by the developer and to obtain necessary advance from such purchaser and/or purchasers of their discretion on such terms and conditions as the Developer may think fit and proper provided always any such advance or payment to be obtained by the Developer shall be at its own risk and responsibilities.
- 4) That the Developer shall bear and pay all such charges like extension of floors plan on the existing sanctioned plan as shall be required, all applications and other necessary specification in connection with the construction of the said building shall be signed by the Vendors/First Parties or their constituted attorney and but at the costs and expenses in all respects of the developer who shall bear all fees, charges and expenses to be paid or deposited.
- 5) That the Land Owners/ First Parties shall execute and register one or more conveyance in favour of the prospective allottees or nominees of the Developer in respect of proportionate share in the land of the said premises as and when required by the Developer after completion of the building and/or authorize the Developer through a registered General Power of Attorney to execute and register the same lawfully.

Rabha Basant Ghosh

Pydi basant Ghosh

Chitra Chandra Ghosh

~~Subrata Ghosh~~

Sumanta Ghosh

Prasenjit Ghosh

Tanuj Ghosh

Subrata Chandra Ghosh
(Ghosh)

Page No.10

Rabha Ghosh

Kaushik Ghosh

SUBHARTI CONSTRUCTION
PARTNER

SUBHARTI CONSTRUCTION

Subrata Chandra
PARTNER

- 6) That the Land Owner shall not assign or transfer the project construction to any other Developer. Contractor or person without the consent of the developer and such assignments or transfer shall amount to the cancellation of the present agreement.
- 7) That the Developer may in the name of the Vendors / First Parties and at its own cost and expenses in so far as may be necessary to apply for and obtain quotas entitlements allocations of Cement and Steel, Iron solely for the purpose and for the construction of the said building similarly it may apply for and obtain temporary and/or permanent connection of water, electricity and telephone to the said building and other imputes and facilities required for the construction for which purpose the First Parties shall execute in favour of the Developer, General Power of Attorney and other authorities as may be required by the Developer and shall also sign all such applications and other documents which shall be required for the purpose of and in connection with the construction of the said building, provided always that all costs and expenses shall be borne and payable by the Developer and the Vendors shall not be liable for the same.
- 8) That the common areas, facilities, stair ways, stair case, landings, terraces or ultimate roofs and corridors to be constructed in the said building shall be for the common use of the First Parties or their assigns and/or transferees and other transferees of the other flats for ingress to and egress from the respective flats to the main road and for beneficial use and enjoyment of the flats / apartment.
- 9) That the First Parties shall clear up ground rent, Municipal Tax and other out goings payable in respect of the said plot of land up to the date of these presents. During the continuance of the agreement the developer shall pay the same until the completion of all the flats.
- 10) That the First Parties shall convey at the cost of the Developer or purchaser or purchasers the proportionate share of the said plot of land to the purchaser of other flats i.e. excluding the First Parties allocation of the building as mentioned in the Schedule - "B" herein below.

Deba Prasad Ghosh

Jyoti Prasad Ghosh
Chau. Ch. Ghosh

Sudhakar Ghosh

Kumari G. Ghosh
Prasanna Ghosh

Tandraghosh

Subhra Chandra Ghosh
(Ghosh)

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Ritna Ghosh
Kanchuk Ghosh

ANANTA CHANDRA GHOSH
PARTNER

SITHAPATTA CHANDRA GHOSH
PARTNER

- 11) That the First Parties shall be a member of any Association for flat owners that may be found consisting of all flat owners and shall abide by all bye laws, rules and regulations adopted by such Association.
- 12) That the First Parties hereby declared that they have good right and full power and absolute authority to enter into this agreement with the Developer and the owner hereby undertake to indemnify and keep indemnified the Developer from and against any and all third party claims, actions and demands whatsoever in respect of the schedule "A" is free from all encumbrances, liens, lispences, charges whatsoever and the said land is not affected by Urban Land (Ceiling and Regulations) Act, 1976 and the First Parties undertakes not to create any encumbrances or charges on the said plot of land deal with the same otherwise in the manner stated herein above.
- 13) That the Developer shall pay all out goings from the date of these presents, to engage, appoint or nominee at its sole risk, responsibility and cost of Architect, contractors, sub-contractor or labour for carrying out and proceed with the construction of the said building and other common spaces according to the approved drawings plan and specifications and in conformity with the said details of construction and for that purpose to purchase, procure and arrange building materials, articles, tools and other implements and to hires and engage suppliers, labours and to pay and meet with their remuneration fees and salaries.
- 14) That the First Parties are not liable for any accident of any worker or any suit or claim or to construct and complete the said building as per Indian standard specifications signed and approved by the First Parties and duly sanctioned by the Siliguri Municipal Corporation and in conformity with the said details of construction.
- 15) That the developer shall complete in all respects the construction of the said P + four storied building according to the drawing plan and specification and in conformity with the details of construction with 30 (thirty) months from the date of sanction of building plan from the Siliguri Municipal Corporation and deliver the vacant possession of the First Parties allocation of the building to the First Parties unless

Alpha Research
Jyoti Research & Research
Anand Ghosh

Sudhakar Ghosh

Kamala Ghosh
Prasanna Ghosh

Tandra Ghosh
Subra-Chandrabose
(Ghosh)

Page No.12

Patna Ghosh
Kanchik Ghosh

SITHAPATYA COLLEGE
Nambur
PARTNER

SITHAPATYA COLLEGE
Subin de Chinty
PARTNER

prevented from so doing by act of God such as natural calamities or any unforeseen circumstances beyond the control of the Developer/Second Party.

- 16) That the Developer shall reserves its rights to make any minor change excluding the First Parties allocation provided such change is consented by the Purchaser or purchasers.
- 17) That the Developer undertakes to keep the owner indemnified from and against all third party claims and actions arising out of any act or omission of the part of the Developer in or relating to the construction of the said building.
- 18) That from time to time to enable the construction of the said building by the developer various acts, deeds and matters, things not herein specifically referred to may be legally required to be done by the developer for which it may require the authority of the First Parties and various applications and other documents may be necessary to be signed or made by their for and in connection with the construction of the said building for which no specific provisions has been made therein. The First Parties undertakes to sign and execute all such legally required for that purpose.
- 19) That the First Parties and the Developer have entered into this agreement purely on a principal to principal and nothing stated herein shall be deemed to be construed as partnership between the developer and the First Parties or as joint venture between them the developer shall not be entitled to assign this agreement to any other person or company.
- 20) That apart from the "Owners Allocation", the remaining area of the proposed P + four storied building shall belong to the Second Party/Developer and the Second Party shall be at liberty to sale the same together with proportionate share of the below schedule land to the intending purchaser/s at such price as the developer may think proper or reasonable and at their absolute discretion.

Attn: Board, Ghosh

Prateek Ghosh

Charu Ghosh

Subin Ghosh

Sumita Ghosh

Prasenjit Ghosh

Tantra Ghosh

Subhra Chansuboi
(Ghosh)

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Prateek Ghosh

Kaushik Ghosh

Subin Ghosh
PARTY

SRIPATYA CONSTRUCTION
PARTY
Subin Ghosh

- 21) That if this agreement fails to materialized due to the unlawful interference of the First Parties or due to any encumbrances in respect of the below schedule land and then the First Parties shall be liable to return the entire expenses that the Second party already invested and consideration money already paid with interest @ 18% per annum to the Second party immediately.
- 22) That the Developer/Second Party shall be entitled to take advances from the intending purchaser after the execution of this agreement by executing a agreement for ale with the intending purchaser/s and the First Parties shall have no objection in this regard and shall also make necessary signatures in the respective agreement for sale.
- 23) That all original documents relating to the below schedule land shall be with the Developer/Second party till the completion of the registration of all the developer allocation area.
- 24) That Income Tax and any others Govt. tax liability for the Developer's allocation of the proposed building shall be borne by the Developer/Second party and if any Income Tax and GST was imposed upon the owner's allocation area then its shall be borne by the First Party on owner's allocation area and in no such circumstances the First Party shall have any liability for any income tax or other tax imposed on the Developer allocation area.
- 25) That it has been mutually settled that the Second Party shall construct the said P + four storied building and handover the possession of the owner's allocation area to the First Parties and the remaining flats and garage shall belong to the Second Party/Developer and the Second Party shall be at liberty to sale the same together with proportionate share of the below schedule land to the intending purchaser/s at such price as the developer may think proper or reasonable and at his absolute discretion.
- 26) That during the construction of the said building, if any changes in specification demanded by the First Parties then the Second Party shall be charge extra cost for doing the same and no choosing option will be allowed to the First Parties.

Sri Sri Prasad Ghosh

Sri Sri Prasad Ghosh
Chau. Ch. Ghosh
Subrata Ghosh
Ananta Ghosh
Prasant Ghosh
Tantra Ghosh
Subrata Choudhury
(Ghosh)

Redna Ghosh
Kaushik Ghosh

Sri Sri Prasad Ghosh
Subrata Ghosh
PARTY

SRIPATYA CHINE PROJECT
Subin Choudhury
PARTY

- 27) That since commencement of the construction work of the building on the below scheduled land till completion thereof the Parties of the First Part shall not cause any sort of obstruction (except if necessary of their flats) or other impediment nor shall do anything which may amount to obstruction or impediment or hindrance in the matter proceeding with or completing the construction work.
- 28) That the developer shall pay a sum of Rs. 16,000/- (Rupees Sixteen thousand) only per month to the First Parties for their temporary accommodation from the date of handing over the possession of the below schedule land to the Developer till the date of handing over the free vacant possession of the First Parties allocations and the said monthly payment shall be made within 7 (Seven) day of each calendar month.
- 29) That the Second Party shall be liable to demolish the previous construction/structure on the below schedule - "A" land and after demolition whatsoever the broken articles / materials are available the Second Party shall be entitled to take the same and shall have every right to dispose off the said materials.
- 30) That if the Second Party shall not handing over the possession of the First Parties allocation within the stipulated period of 30 (thirty) months from the date of sanction of building plan then the Second Party shall pay adequate compensation to the First Parties.
- 31) That the party of the Second Part shall complete the construction of the agreed P + four storied building within a period of 30 (thirty) months since the day of its having the plan sanctioned and approved by the appropriate authority to be applied therefore in the name of the First Parties, in hand.

Provided always that if for any reason beyond the control of the Second Party and/or if for any reason not resulted because of any negligence, failure and lack of diligence, the construction work is hindered in that

Deba Prasad Ghosh

Byate Prasad Ghosh
Chandra Ghosh

Subrata Ghosh

Ananta Ghosh
Prasant Ghosh
Tambore Ghosh
Subrata Chandra Ghosh
(Ghosh)

Rabna Ghosh
Kaushik Ghosh

SINHA PATRA DURGATI INDUSTRIES
Mumbai

SINHA PATRA DURGATI INDUSTRIES
Subin Ch Chatterjee
PARTNER

event the said period of completion of the construction of the said P + four storied building being 30 (thirty) months shall be considered and deemed for all purposes and intent, extended by the period by which the construction would be hindered.

- 32) That in case of death of any of the Party to this agreement, the terms and conditions of this agreement shall not be changed or any addition, modification or deletion as per provided by law.
- 33) That any or difference which may arise between the parties and/or the representatives with regard to the interpretation of any clause/article of this agreement, construction meaning and/or any question relating to the standard of materials which to be used for construction of proposed building shall be referred to the Arbitrators to be appointed by the parties hereto and their decision shall be binding upon the parties therein.

SCHEDULE - "A"

ALL THAT PIECE OR PARCEL of land measuring 6 Katha 13 Chhataks 10 Sq. ft. or 0.11283 Acre, recorded under Khatian No. 1038 (R.S.), Plot No. 5051/5393 (R.S.), situated within Mouza - SILIGURI, J.L. No. 110(88), Touzi No. 3(Ja), within the limits of Siliguri Municipal Corporation Ward No. 25, situated at New Milan Pally, Police Station, Sub-Division, Addl. Dist. Registry Office Siliguri and District Darjeeling, in the State of West Bengal.

The said land is butted and bounded as follows:-

- By the North : 23 Feet 7 Inch Wide Municipal Road;
- By the South : Land & House of Basanti Dey;
- By the East : 4 Feet Wide Passage &
then Land & House of Shipra Paul & Others;
- By the West : Land of Sibu Das.

Deba Prasad Ghosh

Prof. Prasad Ghosh

Chen Chao Ghosh

Subrata Ghosh

Susanta Ghosh

Prasanjit Ghosh

Tandra Ghosh

Subrata Choudhury
(Ghosh)

Page No.16

Datta Ghosh
Kamlik Ghosh

SHRIPATI CONSTRUCTION
FACTORY
Dumuria

SHRIPATI CONSTRUCTION

Subin Choudhury
Dumuria

SCHEDULE - "B"
(Allocation of the First Parties / Owners)

ALL THAT piece or parcel of six flats, one measuring 705 Sq. ft. bearing No. 2D at the Second Floor and another measuring 715 Sq. ft. bearing No. 2E at the Second Floor and another measuring 710 Sq. ft. bearing No. 2F at the Second Floor and another measuring 714 Sq. ft. bearing No. 2G at the Second Floor and another measuring 715 Sq. ft. bearing No. 4E at the Fourth Floor and another measuring 714 Sq. ft. bearing No. 4G at the Fourth Floor including proportionate share of staircase, lift area, and super built up area and three parking space, one measuring 117 Sq. ft. bearing No. "A" and another measuring 606 Sq. ft. bearing No. "C" and another measuring 155 Sq. ft. bearing No. "F" at the Ground Floor including proportionate share of staircase and super built up area of the proposed P + four storied building including undivided proportionate share of the land of the schedule "A" land and all other common areas and facilities attached thereto.

SCHEDULE - "C"
(Works Specification)

1. FOUNDATION : R.C.C. foundation with super structure;
2. BRICK WORK : 5" thick Brick Work (1:5);
3. PLASTERIN : Inside and outside sand cement mortar plaster;
4. FLOORING :
 - (a) Living & dining room will be finished with 24" X 24" Tiles.
 - (b) Bed Rooms & Balcony will be finished with 24" X 24" Tiles;
 - (c) Kitchen Floor will be finished with Marble;
 - (d) Oven slab will be made of Green Marble and finished with glazed tiles upto height of beam level from oven slab.

Debra Chatterjee

Pradeep Kumar Ghosh

Chiranjit Ghosh

Subrata Ghosh

Sumita Ghosh

Prasanta Ghosh

Tandra Ghosh

*(c) Subrata Chatterjee
(Ghosh)*

*Rabna Ghosh
Kaushik K Ghosh*

*SINHA PATRA CONSULTANTS
PARTNER
Mumbai*

*STHAPATIYA CONSULTANTS
PARTNER
Subir K Chatterjee*

(c) Toilet will be finished with Marble stone and wall upto 7 Feet height will be finished with glazed tiles.

- 5. DOORS : All door frame will be made of Sal Wood (4" x 2 1/2") height and breath as per plan and main door and other door/s shutter made of commercial flush door with fitting and paint;
- 6. WINDOWS : (a) Windows frame will be made of Aluminum with Grill fitted;
- 7. COLOUR : (a) Inside Wall - Lime Punny;
(b) Out side Wall - Weather Coat Paint;
(c) Door & Window paint - primer & Synthetic paint;
(d) Door fittings: Aluminum;
(e) Window fittings: Aluminum.
- 8. ELECTRICAL WORKS : All electric wiring will be concealed with Switch fitted boards (Excluding lamp & Fittings).
4 Nos. Electric connection shall be arranged from the electricity board by the Second Party at its own cost and the remaining shall be arranged from the electricity board by the First Parties Party at their own cost.
- 9. ELECTRICAL POINTS : (a) Bed Rooms - 3 Light points, 1 Fan points, One 5 Amp. Socket.
(b) Dining cum Drawing Room - 2 Light points, 1 Fan points, One 5 Amp. Socket, One 15 Amp. Socket.

Dr. Anand Ghosh

Dr. Anand Ghosh

Chandra Ghosh

Subrata Ghosh

Prasanna Ghosh

Tandra Ghosh

Subrata Chatterjee
(Ghosh)

Page No.18

Prabir Ghosh

Kaushik Ghosh

SHRIPATI CONSULTANTS
PARTNER
Nayab

SHRIPATI CONSULTANTS

Subin Choudhury
PARTNER

Kitchen - 1 Light point, 1 Exhaust Fan point, One 15 Amp socket for mixer grinder.

- (d) Common Toilet - 1 Light point, 1 Exhaust Fan point and 1 GEEZER Point.
- (e) Attached Toilets - 1 Light point, 1 Exhaust Fan point.
- (f) Balcony - 1 Light point.

9. PLUMBING :

- (a) Toilet & Kitchen water line fittings-ISI approved Companies.
- (b) Outside water line) PVC;
- (c) Inside water line - G.I./P.V.C. Pipe ISI approved;
- (d) Inside water line will be concealed;
- (e) One Porcelain basin (18" X 12") shall be provided in Dining space.
- (f) 3 Pcs. Conceal Stop Cock shall be provided in Common Toilet.
- (g) 2 Pcs. Bib Cock shall be provided in Common Toilet and Attached Toilet.
- (h) One Stainless Steel Sink (20" X 17") shall be provided in Kitchen.
- (i) One Shower and Angel Cock shall be provided in Common Toilet.

10. SANITARY WORKS :

- (a) Sanitary main line - PVC pipe;
- (b) Sanitary on Gas Line - PVC pipe;
- (c) All sanitary fittings, like "T" bend, syphone, (with system) - White coloured (System will be PVC made).
- (d) Indian Type Pan and P.V.C. Cistern shall be provided in Common Toilet.

Usha Kund Ghosh

Prateek Ghosh
Char-Chor Ghosh

Indranil Ghosh

Sumanta Ghosh
Prasant Ghosh

Tandra Ghosh
Sudhanu Chatterjee
(Ghosh)

Page No.19

Ratna Ghosh
Kaushik Ghosh

STHAPATYA CONS. SOCIETY
No. 19

STHAPATYA CONS. SOCIETY
Subin Chatterjee
PARTNER

- (e) European Commode and P.V.C. Cistern shall be provided in Common Toilet.
- (f) Separate Water Tank, Water Pump and Separate water line.

SCHEDULE - 'D'
(DESCRIPTION OF THE COMMON ARE AND THE COMMON USERS)

1. Proportionate shares in the Schedule-'A' land;
2. Stair-case and stair-case landing;
3. All the electrical fittings in the stair case and landing;
4. Entire top roof of the building;
5. Safety Tanks and sock-well;
6. Boundary wall and main gate;
7. All vacant space of the Schedule-'A' land excepting car parking space/garage;
8. Reservoir and overhead water tank.
9. All the drains, sewage and rain water pipes, outside water lines and outside sanitary pipe lines, outside walls of the building;
10. Other electrical equipments, fixtures and fittings which are necessary for passage to the user and other occupants of the Unit in common and such other common facilities;
11. All the payments to be made to Chowkidars, Night Watchman and sweepers;

Ratna Ghosh
Kaushik Ghosh

IN WITNESSES WHEREOF THE PARTY TO THIS AGREEMENT,
DO SETS AND SUBSCRIBED THEIR RESPECTIVE HAND ON THE
DAY, MONTH AND YEAR FIRST ABOVE WRITTEN.

WITNESSES:

1) Jyoti Singh
S/o Samir Singh
New Milan Pally
PO B.P.S. - Siliguri
Dist - Darjeeling
Pin - 734004.

Deba Prasad Ghosh
Jyoti Prasad Ghosh
Chau Chau Ghosh
Susmita Ghosh
Prasant Ghosh
Tomal Ghosh
Subhra Chandra Borthy
Ratna Ghosh (Ghosh) Kaushik Ghosh

SIGNATURE OF THE FIRST
PARTIES / OWNERS

STHAPATYA CONSTRUCTION
Vandana
PARTNER

STHAPATYA CONSTRUCTION
Subir Ch Choudhury
PARTNER

2) Ankur Dey
S/o Ajit Kumar Dey
Lake Town
Siliguri.

SIGNATURE OF THE SECOND
PARTY / DEVELOPER

Drafted, read over and explained by me
and printed in my chamber.

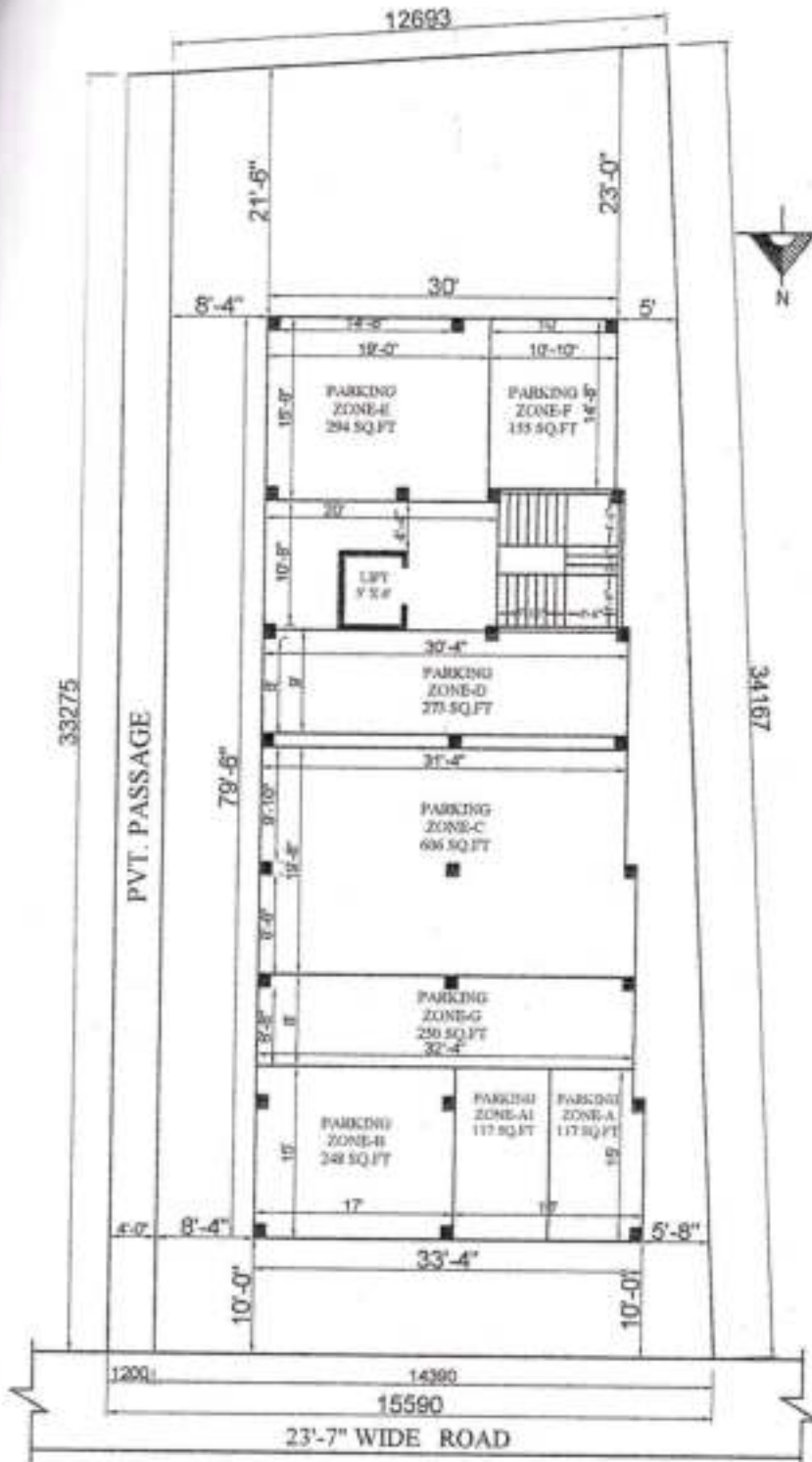
Tapash Nandi

(Tapash Nandi)
Advocate / Siliguri

Enrolment No. WB-1030/2002

PRODUCED BY AN AUTODESK EDUCATIONAL PRODUCT

**CONCEPT PLAN OF
PROPOSED PARKING + FOUR STORIED RESIDENTIAL
BUILDING AT MILANPALLY, SILIGURI, WARD NO-25**



GROUND FLOOR PLAN

OWNERS.....

- A) SRI DEBAPRASAD GHOSH
S/O LATE PRAMATHA BHUSHAN GHOSH
- B) SRI JYOTI PRASAD GHOSH
S/O LATE PRAMATHA BHUSHAN GHOSH
- C) SMT. RATNA GHOSH
W/O LATE RAM PRASAD GHOSH
- D) SRI KAUSHIK GHOSH
S/O LATE RAM PRASAD GHOSH
- E) SRI CHANCHAL GHOSH
S/O LATE PRAMATHA BHUSHAN GHOSH
- F) MISS TANDRA GHOSH
D/O LATE PRAMATHA BHUSHAN GHOSH
- G) SRI SUBRATA GHOSH
S/O LATE PRAMATHA BHUSHAN GHOSH
- H) SMT SHUVRA CHAKRABORTY(GHOSH)
D/O LATE PRAMATHA BHUSHAN GHOSH
& W/O SRI ASHIS CHAKRABORTY
- I) SRI SUSHANTA GHOSH
S/O LATE PRAMATHA BHUSHAN GHOSH
- J) SRI PRASANTA GHOSH
S/O LATE PRAMATHA BHUSHAN GHOSH

LOCATION.....

MILANPALLY,
P.O+P.S.-SILIGURI, DIST-DARJEELING

SCHEDULE OF LAND

PLOT. NO. - 5051/2393
Khatian NO. - 1608
J.L. NO. - 110 (88)
MOUZA. - SILIGURI
WARD NO. - 25
P.S. - SILIGURI
DIST - DARJEELING

LAND AREA.....

6 KATHA 13 CHHATAK 10 SQ.FT
456.64 SQ.M OR 4915 SQ.FT (AS PER SITE)

PROPOSED BUILT UP AREA.....

227 SQ.M OR 2443 SQ.FT

SHARATYA CONSTRUCTION

Subir Chakraborty
PARTNER

SIGNATURE OF DEVELOPERS

- 1) Deba Prasad Ghosh
- 2) Jyoti Prasad Ghosh
- 3) Chan Chak Ghosh
- 4) *Subrata Ghosh*
- 5) Susanta Ghosh
- 6) Prasanta Ghosh
- 7) Tandra Ghosh
- 8) Subrata Chakraborty (Ghosh)
- 9) Ratna Ghosh

LAND OWNERS ALLOCATION

PARKING ZONE - A
PARKING ZONE - C

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PRODUCED BY AN AUTODESK EDUCATIONAL PRODUCT

PRODUCED BY AN AUTODESK EDUCATIONAL PRODUCT

**CONCEPT PLAN OF
PROPOSED PARKING + FOUR STORIED RESIDENTIAL
BUILDING AT MILANPALLY, SILIGURI, WARD NO-25**

LAND OF BASANTI DEY

41'-7"



LAND OF TANDRA GHOSH

PVT. PASSAGE

109'-2"

LAND OF SHIPRA PAUL

79'-6"

LAND OF SIBU DAS

112'-5"



23'-7" WIDE ROAD

SECOND & FOURTH FLOOR PLAN

LAND OWNERS ALLOCATION

OWNERS

- A) SRI DEBAPRASAD GHOSH
S/O LATE PRAMATHA BHUSHAN GHOSH
- B) SRI JYOTI PRASAD GHOSH
S/O LATE PRAMATHA BHUSHAN GHOSH
- C) SMT. RATNA GHOSH
W/O LATE RAM PRASAD GHOSH
- D) SRI KAUSHIK GHOSH
S/O LATE RAM PRASAD GHOSH
- E) SRI CHANCHAL GHOSH
S/O LATE PRAMATHA BHUSHAN GHOSH
- F) MISS TANDRA GHOSH
D/O LATE PRAMATHA BHUSHAN GHOSH
- G) SRI SUBRATA GHOSH
S/O LATE PRAMATHA BHUSHAN GHOSH
- H) SMT SHIVRA CHAKRABORTY (GHOSH)
D/O LATE PRAMATHA BHUSHAN GHOSH
& W/O SRI ASHIS CHAKRABORTY
- I) SRI SUSHANTA GHOSH
S/O LATE PRAMATHA BHUSHAN GHOSH
- J) SRI PRASANTA GHOSH
S/O LATE PRAMATHA BHUSHAN GHOSH

LOCATION

MILANPALLY,
P.O+P.S.-SILIGURI, DIST-DARJEELING

SCHEDULE OF LAND

PLOT NO. - 5051/2393
KHATAN NO. - 1808
J.L. NO. - 110 (88)
MOUZA. - SILIGURI
WARD NO. - 25
P.S. - SILIGURI
DIST - DARJEELING

LAND AREA

6 KATHA 13 CHHATAK 10 SQ.FT
456.64 SQ.M OR 4915 SQ. FT (AS PER SITE)

PROPOSED BUILT UP AREA

227 SQ.M OR 2443 SQ.FT

SHAPATYA CONSTRUCTION

Subin Chakraborty
PARTNER

SIGNATURE OF DEVELOPERS

- 1) Deba Prasad Ghosh
- 2) Jyoti Prasad Ghosh
- 3) Chandan Ghosh
- 4) Subin Chakraborty
- 5) Prasanta Ghosh
- 6) Prasanta Ghosh
- 7) Tandra Ghosh
- 8) Subhanchakraborty (ghosh)
- 9) Ratna Ghosh

FLAT NO	FLAT AREA (WITH SUPER BUILT AREA)
2G, 4G	714 SQFT



Finger Prints of DEBAPRASAD GHOSH

	Thumb	Fore Finger	Middle Finger	Ring Finger	Little Finger
Left Hand					
Right Hand					









Debaprasad Ghosh

Signature





Finger Prints of JYOTI PRASAD GHOSH

	Thumb	Fore Finger	Middle Finger	Ring Finger	Little Finger
Left Hand					
Right Hand					











Jyoti Prasad Ghosh

Signature



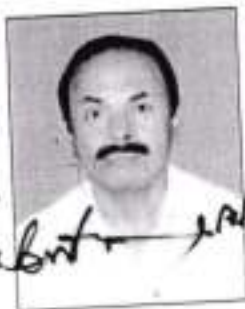
Chan Chan Ghosh

Finger Prints of CHANCHAL GHOSH










	Thumb	Fore Finger	Middle Finger	Ring Finger	Little Finger
Left Hand					
Right Hand					

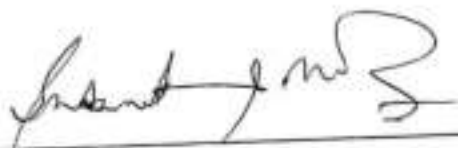
Chan Chan Ghosh

Signature



Finger Prints of SUBRATA CHOSH

	Thumb	Fore Finger	Middle Finger	Ring Finger	Little Finger
Left Hand					
Right Hand					



Signature





Sushanta Ghosh

Finger Prints of SUSHANTA GHOSH

	Thumb	Fore Finger	Middle Finger	Ring Finger	Little Finger
Left Hand					
Right Hand					











Sushanta Ghosh

Signature





Finger Prints of PRASANTA GHOSH

	Thumb	Fore Finger	Middle Finger	Ring Finger	Little Finger
Left Hand					
Right Hand					

Prasanta Ghosh








Signature





Tandra Ghosh

Finger Prints of TANDRA GHOSH

	Thumb	Fore Finger	Middle Finger	Ring Finger	Little Finger
Left Hand					
Right Hand					

Tandra Ghosh











Signature





Subhra Chakraborty (Ghosh)

Finger Prints of SHOVRA CHAKRABORTY (GHOSH)

	Thumb	Fore Finger	Middle Finger	Ring Finger	Little Finger
Left Hand					
Right Hand					

Subhra Chakraborty (Ghosh)

Signature





Finger Prints of RATNA CHASH











	Thumb	Fore Finger	Middle Finger	Ring Finger	Little Finger
Left Hand					
Right Hand					

Ratna Chash
Signature





Finger Prints of KAUSHIK Ghosh

	Thumb	Fore Finger	Middle Finger	Ring Finger	Little Finger
Left Hand					
Right Hand					

Kaushik Ghosh

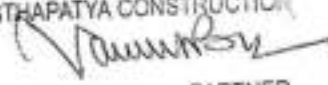
Signature





Finger Prints of VASKAR BISWAS

	Thumb	Fore Finger	Middle Finger	Ring Finger	Little Finger
Left Hand					
Right Hand					

STHAPATYA CONSTRUCTION

PARTNER

Signature





Finger Prints of SUBIR CHANDRA CHOUHDURY

	Thumb	Fore Finger	Middle Finger	Ring Finger	Little Finger
Left Hand					
Right Hand					

STHAPATYA CONSTRUCTION

Subir ch Choudhury

PARTNER

Signature





ELECTION COMMISSION OF INDIA

ভারতের নির্বাচন কমিশন

IDENTITY CARD

WB/04/025/0615057

পরিচয় পত্র



Elector's Name	Dehprasad Ghosh
নির্বাচকের নাম	দেবপ্রসাদ ঘোষ
Father's Name	Pramathabhusan Ghosh
পিতার নাম	প্রমথভূষণ ঘোষ
Sex	M
লিঙ্গ	পুং
Age as on 1.1.2005	54
১.১.২০০৫-এ বয়স	৫৪

Dehprasad Ghosh

आयकर विभाग
INCOME TAX DEPARTMENT

भारत सरकार
GOVT. OF INDIA

DEBAPRASAD GHOSH
PRAMOTH BHUSHAN GHOSH

15/04/1950
Permanent Account Number
AGWPG8852G

Signature



Deba Prasad Ghosh



ভারত সরকার
Government of India



জ্যোতি প্রসাদ ঘোষ
JYOTI PRASAD GHOSH
পিতা : প্রমথ ভূসন ঘোষ
Father : Pramatha Bhusan
Ghosh
জন্মতারিখ / DOB : 07/05/1951
পুংলব / Male



2464 8487 1491

আধার - সাধারণ মানুষের অধিকার



ভারতীয় বিপ্লব পরিচয় প্রাধিকার
Unique Identification Authority of India

ঠিকানা: ফ্ল্যাট নং ২ শঙ্কর
আপার্টমেন্ট, ৫১ সুভাষ নগর রোড ২
বাইলেন, রবীন্দ্রনগর, সউথ ডুমডুম,
রবীন্দ্র নগর, কোলকাতা, রবীন্দ্র নগর,
পশ্চিম বঙ্গ, ৭০০০৬৫

Address: FLAT NO 2 SANKAR
APERTMENT, 51 SUBHAS
NAGAR ROAD 2ND BAYLANE,
RABINDRANAGAR, SOUTH
DUMDUM, Rabindra Nagar,
Kolkata, Rabindra Nagar, West
Bengal, 700065

2464 8487 1491

1947
1800 300 1947

help@uidai.gov.in

www.uidai.gov.in

आयकर विभाग
INCOME TAX DEPARTMENT

भारत सरकार
GOVT. OF INDIA

CHANCHAL GHOSH

PROMOTHO BHUSAN GHOSH

10/08/1962

Permanent Account Number
AUXPGB271E

Chan Chai Ghosh
Signature

भारत सरकार

2500010



Chan Chai Ghosh



ভারতীয় বিনিষ্ট পরিচয় প্রাধিকরণ
 ভারত সরকার
 Unique Identification Authority of India
 Government of India

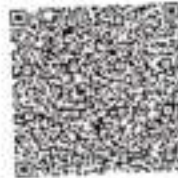
চলিকাভুক্তির আই ডি / Enrolment No. : 1215/91148/06263

To
 CHANCHAL GHOSH
 গ্রাম নাম
 4NO HARISABHA ROAD
 SILIGURI BAJAR
 WARD NO.25
 Siliguri (M. Corp)
 Siliguri Bazar, Darjeeling
 West Bengal - 734005

29/08/2014



KL942070585FT
 94207058



আপনার আধার সংখ্যা / Your Aadhaar No. :

8057

আধার - সাধারণ মানুষের অধিকার

Chanchal Ghosh



ভারত সরকার

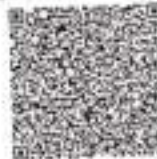
Government of India



গ্রাম নাম
 CHANCHAL GHOSH
 পিতা : প্রমোদভূষণ গোস্বামী
 Father : Pramodbhushan Ghosh

জন্মতারিখ / DOB: 25/09/1984
 পুরুষ / Male

8057



আধার - সাধারণ মানুষের অধিকার



ভারত সরকার

Government of India

সুভ্রতা ঘোষ

Subrata Ghosh

পিতা : প্রমথ ভূষণ ঘোষ

Father : Pramath Bhushan Ghosh



জন্মতারিখ / DOB: 25/12/1989

লিঙ্গ / Male



4196 1906 7159

আধার - সাধারণ মানুষের অধিকার



আধার
উদ্যোগ, সিটি মিলান পল্লী, পিলিগুরি
ওয়ার্ড নং ১, পিলিগুরি বাজার
পিলিগুরি বাজার, দার্জিলিং
পশ্চিম বঙ্গ

ভারত সরকার
Unique Identification Authority of India

Address: NEW MILAN
PALLY, SILIGURI, WARD
NO 25, Siliguri Bazar, Siliguri
Bazar, Darjeeling, West
Bengal, 734005

4196 1906 7159

1947
1800 300 1943



help@uidai.gov.in

www

www.uidai.gov.in

Subrata Ghosh



ELECTION COMMISSION OF INDIA

ভারতের নির্বাচন কমিশন

IDENTITY CARD
পরিচয় পত্র

WB/04/025/0615065



Elector's Name : Ghosh Sushanta
নির্বাচকের নাম : ঘোষ সুশান্ত
Father/Mother/
Husband's Name : Pramathabhushan
পিতা/মাতা/স্বামীর নাম : প্রমথভূষণ
Sex : Male
লিঙ্গ : পুরুষ
Age as on 1.1.95 : 29
১.১.৯৫ -এ বয়স : ২৯

Address :
New Milanpalli
Siliguri
Darjeeling
ঠিকানা
নিউ মিলনপাল্লী
শিলিগুড়ি
দার্জিলিং

P. S.

Electoral Registration Officer
নির্বাচন-নিবন্ধন অফিসার
For Siliguri Assembly Constituency
শিলিগুড়ি বিধানসভা নির্বাচন কেন্দ্র

Place : Siliguri
স্থান : শিলিগুড়ি
Date : 23.2.95
তারিখ : ২৩.২.৯৫

100-32

Susanta Ghosh

आयकर विभाग
INCOME TAX DEPARTMENT



भारत सरकार
GOVT. OF INDIA

SUSANTA GHOSH
PRAMATHA BHUSHAN GHOSH



03/02/1967
Permanent Account Number

BBUPG2004C

Susanta Ghosh
Signature



3012011

Susanta Ghosh

आयकर विभाग

INCOME TAX DEPARTMENT

PRASANTA GHOSH

PRAMOTHA BHUSAN GHOSH

02/11/1971

Permanent Account Number

AGLPG3687J

Prasanta Ghosh
Signature



भारत सरकार
GOVT. OF INDIA



If this card is lost/ found, kindly inform / return to
Income Tax PAN Service Unit, UTITSE,
Plot No. 3, Sector 11, CBD Bangur,
New Mumbai - 400 614.
आयकर वि. कार्ड/पासे का ख़तरा ख़तिय नही/पहोचत
आयकर वि. सेवा युनिट, UTITSE,
प्लॉट नं. 3, सेक्टर 11, सी.बी.डी. बंगर,
नयी मुंबई-400 614.

Prasanta Ghosh



ভারত সরকার
Government of India



প্রসান্ত গোস্বামী
Prasanta Ghosh
পিতা : প্রমথ চন্দ্র গোস্বামী
Father : Pramotha Chandra Ghosh

সংস্করণ নং: 02/11/1971
পুং / Male



9245 3799 8352

সংস্করণ - সাধারণ মানুষের অধিকার



ভারত সরকার
Unique Identification Authority of India

উদ্দেশ্য: স্বা. পরিচয় প্রদান করা
বিশেষতঃ স্বাস্থ্য, শিক্ষা ও
সামাজিক সেবা (স্বাস্থ্য, শিক্ষা ও
সামাজিক সেবা)

Address: 4/20 HARIJAN
ROAD BY LAKE, DELHI
NEW DELHI 110012
Srigun (P. Corp).
Delhi 110012
West Bengal 734002



Prasanta Ghosh



ভারত সরকার
Government of India

ডলি নাম

TANDRA GHOSH

পিতা : প্রমথ কুমার গুপ্ত

Father: Pramath Bhushan Ghosh

জন্ম তারিখ/DOB: 01/08/1968

লিঙ্গ / Female

3032 9548 5420



অধিকার - সাধারণ মানুষের অধিকার

Unique Identification Authority of India

ভিআইএন, যা পরিচয় করে দেয় এবং
নিরাপত্তা প্রদান, যার ফলে
স্বাধীনতা (মৌলিক), নিরাপত্তা এবং
কল্যাণ, অধিকার।

Address: APO RAJESWAR
ROAD BY LANE, BAGURU
ST. AR, NEW DELHI 110011
Dr. Jai (A. Goo)
Durgam, 2nd Stage, West
Coast, 744000



आयकर विभाग
INCOME TAX DEPARTMENT



भारत सरकार
GOVT. OF INDIA

TANDRA GHOSH
PRAMOTHA BHUSAN GHOSH

10/06/1966
Permanent Account Number

AHHFG3795J

Tandra Ghosh
Signature



In case this card is lost / found, kindly inform / return to:
Income Tax PAN Services Unit, UTISL,
Plot No. 3, Sector 11, CBD Hazratpur,
New Mumbai - 400 614.
या कार्ड को खोने या कथम भुलिवा जाने / शोधने ;
आयकर पत्र सेवा युनिट, UTISL,
प्लॉट नं. 3, सेक्टर 11, सी.बी.डी. हजरातपुर,
नवी मुंबई-400 614.

आयकर विभाग
INCOME TAX DEPARTMENT



भारत सरकार
GOVT. OF INDIA

SUBHRA CHAKRABORTY
PRAMATHA BHUSAN GHOSH

10/05/1965
Permanent Account Number

AITPC9148G

Subhra Chakraborty
Signature



Subhra Chakraborty



ভারত সরকার
Government of India



নাম / Name
Shubhra Chakraborti
পতি : অশীষ চক্রবর্তী
Husband : Ashish Chakraborti

জন্মতারিখ / DOB: 10/05/1989
লিঙ্গ / Female



6030 6119 8813

আধার - সাধারণ মানুষের অধিকার

Shubhra Chakraborti



ভারতীয় অধিভুক্ত পরিচয় প্রাধিকার
Unique Identification Authority of India

টিকিট, স্টীপার, ডেপুটি
সিটিভি অফিস, ওয়ার্ড
সিটিভি স্টেশন, সিটিভি বাস
জলপাইগুড়ি, পশ্চিম বঙ্গ

Address: SHAKTIGARH,
ROAD NO 3, SILIGURI
BAZAR, WARD 31, Siliguri
Municipal Corporation,
Jalpaiguri, Siliguri Bazar,
West Bengal, 734005

6030 6119 8813

1947
1800 300 1947

help@uidai.gov.in

www.uidai.gov.in

आयकर विभाग
INCOME TAX DEPARTMENT



भारत सरकार
GOVT. OF INDIA

RATNA GHOSH
NITYANANDA BOSE
15/02/1961

Permanent Account Number

BBGPG6506D

Ratna Ghosh
Signature



Ratna Ghosh



भारत सरकार
GOVERNMENT OF INDIA



Ratna Ghosh
DOB: 15/02/1961
Female / FEMALE



4215 0991 0439

मेरा आधर, मेरी पहचान
MERA AADHAAR, MERI PEHACHAN

Ratna Ghosh

भारतीय विशिष्ट पहचान प्राधिकरण
UNIQUE IDENTIFICATION AUTHORITY OF INDIA

Address

W/O: Ram Prasad Ghosh, 47
RASHBIHARI SARANI, HAKIM PARA,
Siliguri (M. Corp), Darjeeling,
West Bengal - 734001.



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1800 301 1947

help@uidai.gov.in

www.uidai.gov.in

P.O. Box No.1947,
Bengaluru-560 081.

आयकर विभाग
INCOME TAX DEPARTMENT

KAUSHIK GHOSH
RAM PRASAD GHOSH
16/04/1992

Permanent Account Number

BBGPG6505A

Kaushik Ghosh

Signature



भारत सरकार
GOVT. OF INDIA



Kaushik Ghosh



ভারতের নির্বাচন কমিশন
পরিচয় পত্র
ELECTION COMMISSION OF INDIA
IDENTITY CARD

XEQ1392489



নির্বাচকের নাম : কৌশিক ঘোষ
Elector's Name : Kaushik Ghosh
পিতার নাম : রাম প্রসাদ ঘোষ
Father's Name : Ram Prasad Ghosh
লিঙ্গ/Sex : পুং M
জন্ম তারিখ : 16/04/1992
Date of Birth :

XEQ1392489

ঠিকানা:
নেতাজী সুভাষ রোড, শিলিগুরি সিটি
কর্পোরেশন, শিলিগুরি, দার্জিলিং, 734001

Address:
NETAJI SUBHASH ROAD, SILIGURI (M
CORP.), SILIGURI, DARJEELING, 734001

Date: 12/01/2011

26- শিলিগুরি নির্বাচন কেন্দ্রের নির্বাচন নিবন্ধন অধিকর্তার
স্বাক্ষরের অনুমতি

Facsimile Signature of the Electoral
Registration Officer for
26-Siliguri Constituency

নিবন্ধন পরিবর্তন হলে নতুন ঠিকানায় জেরার ফিট নম্বর ফর্ম ও একটি
স্বাক্ষর নতুন সঠিক পরিচয়পত্র পাওয়ার জন্য নির্দেশ দেওয়া হল।
পরিবর্তনের লক্ষ্যে উক্ত নম্বর।

In case of change in address mention this Card No.
in the relevant Form for including your name in the
roll at the changed address and to obtain the card
with same number.

Kaushik Ghosh



STHAPATYA CONSTRUCTION
Surbis ch Chauthy
PARTNER

In case this card is lost / found, kindly inform / return to:
Income Tax PAN Services Unit, UTTFISF,
Plot No. 3, Sector 11, CBD Belapur,
Navi Mumbai - 400 614.

इस कार्ड के खोने/पाने पर कृपया सूचित करें/सीटने :
आयकर सेवा सेवा यूनिट, UTTFISF,
प्लॉट नं. 3, सेक्टर 11, सीडी बी, बेलपुर, न
नवी मुंबई - 400 614.



भारत सरकार
 Unique Identification Authority of India
 Government of India

आधार संख्या / Enrollment No. : 1215/91121/58517

To
 Vaskar Biswas
 वास्कर बिस्वास
 94
 SATYEN BOSE ROAD
 WARD 29
 DESHBANDHUPARA
 Silguri (M. Corp)
 Silguri Town, Darjeeling
 West Bengal - 734004



KL960146245FT

95014524



आपका आधार क्रमांक / Your Aadhaar No. :

9507 9835 8851

आधार - आम आदमी का अधिकार



भारत सरकार

Government of India

वास्कर बिस्वास
 Vaskar Biswas
 पिता : अजीत बिस्वास
 Father : Aji Biswas



जन्म तिथि / DOB: 07/05/1987
 लिंग / Male

9507 9835 8851



आधार - आम आदमी का अधिकार

Vaunp...

आयकर विभाग

INCOME TAX DEPARTMENT



भारत सरकार

GOVT. OF INDIA

SUBHASH SINGHA

SAMIR SINGHA

01/10/1984

Permanent Account Number

BIYPS7673C

Subhash Singha

Signature

Subhash Singha



20122006

Major Information of the Deed




Deed No :	I-0402-01176/2020	Date of Registration	25/08/2020
Query No / Year	0402-2000954251/2020	Office where deed is registered	
Query Date	13/08/2020 10:54:15 PM	0402-2000954251/2020	
Applicant Name, Address & Other Details	Tapash Nandi Lake Town, Thana : Bhaktinagar, District : Jalpaiguri, WEST BENGAL, PIN - 734007, Mobile No. : 9434151274, Status : Advocate		
Transaction	Additional Transaction		
[0110] Sale, Development Agreement or Construction agreement	[4308] Other than Immovable Property, Agreement [No of Agreement : 3]		
Set Forth value	Market Value		
	Rs. 1,84,31,254/-		
Stampduty Paid(SD)	Registration Fee Paid		
Rs. 40,030/- (Article:48(g))	Rs. 28/- (Article:E, E)		
Remarks	Received Rs. 50/- (FIFTY only) from the applicant for issuing the assement slip.(Urban area)		

Land Details :

District: Darjeeling, P.S:- Siliguri, Municipality: SILIGURI MC, Road: MILAN PALLY, Road Zone : (WARD NO.25 – WARD NO.25) , Mouza: Siliguri, JI No: 88, Pin Code : 734005

Sch No	Plot Number	Khatian Number	Land Use Proposed	Use ROR	Area of Land	SetForth Value (In Rs.)	Market Value (In Rs.)	Other Details
L1	RS-5051/2393	RS-1038	Bastu	Bastu	6 Katha 13 Chatak 10 Sq Ft		1,84,31,254/-	Width of Approach Road: 24 Ft., Adjacent to Metal Road,
Grand Total :					11.2635Dec	0/-	184,31,254 /-	

Land Lord Details :

Sl No	Name,Address,Photo,Finger print and Signature			
	Name	Photo	Finger Print	Signature
1	Mr Debaprasad Ghosh (Presentant) Son of Late Pramatha Bhusan Ghosh Executed by: Self, Date of Execution: 25/08/2020 , Admitted by: Self, Date of Admission: 25/08/2020 ,Place : Office			
		25/08/2020	25/08/2020	25/08/2020

New Milan Pally, P.O:- Siliguri Bazar, P.S:- Siliguri, Siliguri Mc, District:-Darjeeling, West Bengal, India, PIN - 734005 Sex: Male, By Caste: Hindu, Occupation: Others, Citizen of: India, PAN No.:: AGxxxxxx2G, Aadhaar No: 82xxxxxxxx0853, Status :Individual, Executed by: Self, Date of Execution: 25/08/2020 , Admitted by: Self, Date of Admission: 25/08/2020 ,Place : Office

2	Name	Photo	Finger Print	Signature
<p>Mr Jyoti Prasad Ghosh Son of Late Pramatha Bhusan Ghosh Executed by: Self, Date of Execution: 25/08/2020 , Admitted by: Self, Date of Admission: 25/08/2020 ,Place : Office</p>	 25/08/2020	 LTI 25/08/2020	 25/08/2020	



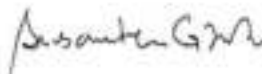
New Milan Pally, P.O:- Siliguri Bazar, P.S:- Siliguri, Siliguri Mc, District:-Darjeeling, West Bengal, India, PIN - 734005 Sex: Male, By Caste: Hindu, Occupation: Others, Citizen of: India, PAN No.:: AExxxxxx8A, Aadhaar No: 24xxxxxxxx1491, Status :Individual, Executed by: Self, Date of Execution: 25/08/2020 , Admitted by: Self, Date of Admission: 25/08/2020 ,Place : Office

3	Name	Photo	Finger Print	Signature
<p>Mr Chanchal Ghosh Son of Late Pramatha Bhusan Ghosh Executed by: Self, Date of Execution: 25/08/2020 , Admitted by: Self, Date of Admission: 25/08/2020 ,Place : Office</p>	 25/08/2020	 LTI 25/08/2020	 25/08/2020	




New Milan Pally, P.O:- Siliguri Bazar, P.S:- Siliguri, Siliguri Mc, District:-Darjeeling, West Bengal, India, PIN - 734005 Sex: Male, By Caste: Hindu, Occupation: Others, Citizen of: India, PAN No.:: AUxxxxxx1E, Aadhaar No: 66xxxxxxxx8057, Status :Individual, Executed by: Self, Date of Execution: 25/08/2020 , Admitted by: Self, Date of Admission: 25/08/2020 ,Place : Office

4	Name	Photo	Finger Print	Signature
<p>Mr Subrata Ghosh Son of Late Pramatha Bhusan Ghosh Executed by: Self, Date of Execution: 25/08/2020 , Admitted by: Self, Date of Admission: 25/08/2020 ,Place : Office</p>	 25/08/2020	 LTI 25/08/2020	 25/08/2020	



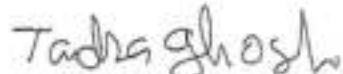
New Milan Pally, P.O:- Siliguri Bazar, P.S:- Siliguri, Siliguri Mc, District:-Darjeeling, West Bengal, India, PIN - 734005 Sex: Male, By Caste: Hindu, Occupation: Others, Citizen of: India, PAN No.:: BLxxxxxx0G, Aadhaar No: 41xxxxxxxx7159, Status :Individual, Executed by: Self, Date of Execution: 25/08/2020 , Admitted by: Self, Date of Admission: 25/08/2020 ,Place : Office

Name	Photo	Finger Print	Signature
Mr Susanta Ghosh Son of Late Pramatha Bhusan Ghosh Executed by: Self, Date of Execution: 25/08/2020 , Admitted by: Self, Date of Admission: 25/08/2020 ,Place : Office			
25/08/2020	LTI	25/08/2020	25/08/2020

New Milan Pally, P.O:- Siliguri Bazar, P.S:- Siliguri, Siliguri Mc, District:-Darjeeling, West Bengal, India, PIN - 734005 Sex: Male, By Caste: Hindu, Occupation: Others, Citizen of: India, PAN No.:: BBxxxxxx4C, Aadhaar No: 81xxxxxxxx2130, Status :Individual, Executed by: Self, Date of Execution: 25/08/2020
 , Admitted by: Self, Date of Admission: 25/08/2020 ,Place : Office

Name	Photo	Finger Print	Signature
Mr Prasanta Ghosh Son of Late Pramatha Bhusan Ghosh Executed by: Self, Date of Execution: 25/08/2020 , Admitted by: Self, Date of Admission: 25/08/2020 ,Place : Office			
25/08/2020	LTI	25/08/2020	25/08/2020



New Milan Pally, P.O:- Siliguri Bazar, P.S:- Siliguri, Siliguri Mc, District:-Darjeeling, West Bengal, India, PIN - 734005 Sex: Male, By Caste: Hindu, Occupation: Others, Citizen of: India, PAN No.:: AGxxxxxx7J, Aadhaar No: 92xxxxxxxx8352, Status :Individual, Executed by: Self, Date of Execution: 25/08/2020
 , Admitted by: Self, Date of Admission: 25/08/2020 ,Place : Office

Name	Photo	Finger Print	Signature
Miss Tandra Ghosh Daughter of Late Pramatha Bhusan Ghosh Executed by: Self, Date of Execution: 25/08/2020 , Admitted by: Self, Date of Admission: 25/08/2020 ,Place : Office			
25/08/2020	LTI	25/08/2020	25/08/2020

New Milan Pally, P.O:- Siliguri Bazar, P.S:- Siliguri, Siliguri Mc, District:-Darjeeling, West Bengal, India, PIN - 734005 Sex: Female, By Caste: Hindu, Occupation: Others, Citizen of: India, PAN No.:: AHxxxxxx5J, Aadhaar No: 30xxxxxxxx5420, Status :Individual, Executed by: Self, Date of Execution: 25/08/2020
 , Admitted by: Self, Date of Admission: 25/08/2020 ,Place : Office

Name	Photo	Finger Print	Signature
Mrs Shubhra Chakraborty Wife of Mr Ashis Chakraborty Executed by: Self, Date of Execution: 25/08/2020 , Admitted by: Self, Date of Admission: 25/08/2020 ,Place : Office			
25/08/2020	LTI	25/08/2020	25/08/2020

New Milan Pally, P.O:- Siliguri Bazar, P.S:- Siliguri, Siliguri Mc, District:-Darjeeling, West Bengal, India, PIN - 734005 Sex: Female, By Caste: Hindu, Occupation: Others, Citizen of: India, Applied for Form 60, Aadhaar No: 60xxxxxxx8813, Status :Individual, Executed by: Self, Date of Execution: 25/08/2020
 , Admitted by: Self, Date of Admission: 25/08/2020 ,Place : Office

9	Name	Photo	Finger Print	Signature
	Mrs Ratna Ghosh Wife of Late Ram Prasad Ghosh Executed by: Self, Date of Execution: 25/08/2020 , Admitted by: Self, Date of Admission: 25/08/2020 ,Place : Office			Ratna Ghosh
		25/08/2020	LTI 25/08/2020	25/08/2020

New Milan Pally, P.O:- Siliguri Bazar, P.S:- Siliguri, Siliguri Mc, District:-Darjeeling, West Bengal, India, PIN - 734005 Sex: Female, By Caste: Hindu, Occupation: Others, Citizen of: India, PAN No.:: BBxxxxxx6D, Aadhaar No: 42xxxxxxx0439, Status :Individual, Executed by: Self, Date of Execution: 25/08/2020
 , Admitted by: Self, Date of Admission: 25/08/2020 ,Place : Office



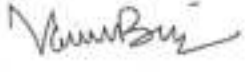


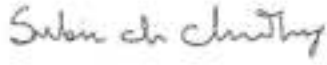
10	Name	Photo	Finger Print	Signature
	Mr Kaushik Ghosh Son of Late Ram Prasad Ghosh Executed by: Self, Date of Execution: 25/08/2020 , Admitted by: Self, Date of Admission: 25/08/2020 ,Place : Office			Kaushik Ghosh
		25/08/2020	LTI 25/08/2020	25/08/2020

New Milan Pally, P.O:- Siliguri Bazar, P.S:- Siliguri, Siliguri Mc, District:-Darjeeling, West Bengal, India, PIN - 734005 Sex: Male, By Caste: Hindu, Occupation: Others, Citizen of: India, PAN No.:: BBxxxxxx5A, Aadhaar No Not Provided by UIDAI, Status :Individual, Executed by: Self, Date of Execution: 25/08/2020
 , Admitted by: Self, Date of Admission: 25/08/2020 ,Place : Office



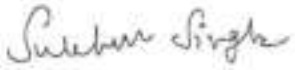
Developer Details :

SI No	Name,Address,Photo,Finger print and Signature
1	STHAPATYA CONSTRUCTION Dr. Himangshu Gupta Path, Deshabndhu Para, P.O:- Siliguri Town, P.S:- Siliguri, Siliguri Mc, District:-Darjeeling, West Bengal, India, PIN - 734004 , PAN No.:: ACxxxxxx4Q, Aadhaar No Not Provided by UIDAI, Status :Organization, Executed by: Representative

Representative Details :

Name,Address,Photo,Finger print and Signature			
Name	Photo	Finger Print	Signature
1 Mr Vaskar Biswas Son of Late Ajit Kumar Biswas Date of Execution - 25/08/2020, , Admitted by: Self, Date of Admission: 25/08/2020, Place of Admission of Execution: Office	 Aug 25 2020 1:38PM	 LTI 25/08/2020	 25/08/2020
Satyen Bose Road, Deshbandhu Para, P.O:- Siliguri Town, P.S:- Siliguri, Siliguri Mc, District:-Darjeeling, West Bengal, India, PIN - 734004, Sex: Male, By Caste: Hindu, Occupation: Business, Citizen of: India, Aadhaar No: 95xxxxxxxx8851 Status : Representative, Representative of : STHAPATYA CONSTRUCTION (as Partner)			
Name	Photo	Finger Print	Signature
2 Mr Subir Chandra Chowdhury Son of Late Sudhir Chandra Chowdhury Date of Execution - 25/08/2020, , Admitted by: Self, Date of Admission: 25/08/2020, Place of Admission of Execution: Office	 Aug 25 2020 1:39PM	 LTI 25/08/2020	 25/08/2020
Dr. Himangshu Gupta Path, Deshabndhu Para, P.O:- Siliguri Town, P.S:- Siliguri, Siliguri Mc, District:-Darjeeling, West Bengal, India, PIN - 734004, Sex: Male, By Caste: Hindu, Occupation: Business, Citizen of: India, , Aadhaar No: 97xxxxxxxx8988 Status : Representative, Representative of : STHAPATYA CONSTRUCTION (as Partner)			

Identifier Details :

Name	Photo	Finger Print	Signature
Mr Subhash Singha Son of Mr Samir Singha New Milan Pally, P.O:- Siliguri, P.S:- Siliguri, Siliguri Mc, District:-Darjeeling, West Bengal, India, PIN - 734001	 25/08/2020	 25/08/2020	 25/08/2020
Identifier Of Mr Debaprasad Ghosh, Mr Jyoti Prasad Ghosh, Mr Chanchal Ghosh, Mr Subrata Ghosh, Mr Susanta Ghosh, Mr Prasanta Ghosh, Miss Tandra Ghosh, Mrs Shubhra Chakraborty, Mrs Ratna Ghosh, Mr Kaushik Ghosh, Mr Vaskar Biswas, Mr Subir Chandra Chowdhury			

Transfer of property for L1

No	From	To. with area (Name-Area)
1	Mr Debaprasad Ghosh	STHAPATYA CONSTRUCTION-1.12635 Dec
2	Mr Jyoti Prasad Ghosh	STHAPATYA CONSTRUCTION-1.12635 Dec
3	Mr Chanchal Ghosh	STHAPATYA CONSTRUCTION-1.12635 Dec
4	Mr Subrata Ghosh	STHAPATYA CONSTRUCTION-1.12635 Dec
5	Mr Susanta Ghosh	STHAPATYA CONSTRUCTION-1.12635 Dec
6	Mr Prasanta Ghosh	STHAPATYA CONSTRUCTION-1.12635 Dec
7	Miss Tandra Ghosh	STHAPATYA CONSTRUCTION-1.12635 Dec
8	Mrs Shubhra Chakraborty	STHAPATYA CONSTRUCTION-1.12635 Dec
9	Mrs Ratna Ghosh	STHAPATYA CONSTRUCTION-1.12635 Dec
10	Mr Kaushik Ghosh	STHAPATYA CONSTRUCTION-1.12635 Dec

25-08-2020

Certificate of Admissibility (Rule 43, W.B. Registration Rules 1962)

Admissible under rule 21 of West Bengal Registration Rule, 1962 duly stamped under schedule 1A, Article number : 48 (g) of Indian Stamp Act 1899.

Presentation (Under Section 52 & Rule 22A(3) 46(1), W.B. Registration Rules, 1962)

Presented for registration at 13:22 hrs on 25-08-2020, at the Office of the A.D.S.R. SILIGURI by Mr Debaprasad Ghosh, one of the Executants.

Certificate of Market Value (WB PUVI rules of 2001)

Certified that the market value of this property which is the subject matter of the deed has been assessed at Rs 1,84,31,254/-

Admission of Execution (Under Section 58, W.B. Registration Rules, 1962)

Execution is admitted on 25/08/2020 by 1. Mr Debaprasad Ghosh, Son of Late Pramatha Bhusan Ghosh, New Milan Pally, P.O: Siliguri Bazar, Thana: Siliguri, City/Town: SILIGURI MC, Darjeeling, WEST BENGAL, India, PIN - 734005, by caste Hindu, by Profession Others, 2. Mr Jyoti Prasad Ghosh, Son of Late Pramatha Bhusan Ghosh, New Milan Pally, P.O: Siliguri Bazar, Thana: Siliguri, City/Town: SILIGURI MC, Darjeeling, WEST BENGAL, India, PIN - 734005, by caste Hindu, by Profession Others, 3. Mr Chanchal Ghosh, Son of Late Pramatha Bhusan Ghosh, New Milan Pally, P.O: Siliguri Bazar, Thana: Siliguri, City/Town: SILIGURI MC, Darjeeling, WEST BENGAL, India, PIN - 734005, by caste Hindu, by Profession Others, 4. Mr Subrata Ghosh, Son of Late Pramatha Bhusan Ghosh, New Milan Pally, P.O: Siliguri Bazar, Thana: Siliguri, City/Town: SILIGURI MC, Darjeeling, WEST BENGAL, India, PIN - 734005, by caste Hindu, by Profession Others, 5. Mr Susanta Ghosh, Son of Late Pramatha Bhusan Ghosh, New Milan Pally, P.O: Siliguri Bazar, Thana: Siliguri, City/Town: SILIGURI MC, Darjeeling, WEST BENGAL, India, PIN - 734005, by caste Hindu, by Profession Others, 6. Mr Prasanta Ghosh, Son of Late Pramatha Bhusan Ghosh, New Milan Pally, P.O: Siliguri Bazar, Thana: Siliguri, City/Town: SILIGURI MC, Darjeeling, WEST BENGAL, India, PIN - 734005, by caste Hindu, by Profession Others, 7. Miss Tandra Ghosh, Daughter of Late Pramatha Bhusan Ghosh, New Milan Pally, P.O: Siliguri Bazar, Thana: Siliguri, City/Town: SILIGURI MC, Darjeeling, WEST BENGAL, India, PIN - 734005, by caste Hindu, by Profession Others, 8. Mrs Shubhra Chakraborty, Wife of Mr Ashis Chakraborty, New Milan Pally, P.O: Siliguri Bazar, Thana: Siliguri, City/Town: SILIGURI MC, Darjeeling, WEST BENGAL, India, PIN - 734005, by caste Hindu, by Profession Others, 9. Mrs Ratna Ghosh, Wife of Late Ram Prasad Ghosh, New Milan Pally, P.O: Siliguri Bazar, Thana: Siliguri, City/Town: SILIGURI MC, Darjeeling, WEST BENGAL, India, PIN - 734005, by caste Hindu, by Profession Others, 10. Mr Kaushik Ghosh, Son of Late Ram Prasad Ghosh, New Milan Pally, P.O: Siliguri Bazar, Thana: Siliguri, City/Town: SILIGURI MC, Darjeeling, WEST BENGAL, India, PIN - 734005, by caste Hindu, by Profession Others

Indetified by Mr Subhash Singha, . . Son of Mr Samir Singha, New Milan Pally, P.O: Siliguri, Thana: Siliguri, City/Town: SILIGURI MC, Darjeeling, WEST BENGAL, India, PIN - 734001, by caste Hindu, by profession Law Clerk

Admission of Execution (Under Section 58, W.B. Registration Rules, 1962) [Representative]

Execution is admitted on 25-08-2020 by Mr Vaskar Biswas, Partner, STHAPATYA CONSTRUCTION (Partnership Firm), Dr. Himangshu Gupta Path, Deshabndhu Para, P.O:- Siliguri Town, P.S:- Siliguri, Siliguri Mc, District:-Darjeeling, West Bengal, India, PIN - 734004

Indetified by Mr Subhash Singha, . . Son of Mr Samir Singha, New Milan Pally, P.O: Siliguri, Thana: Siliguri, City/Town: SILIGURI MC, Darjeeling, WEST BENGAL, India, PIN - 734001, by caste Hindu, by profession Law Clerk

Execution is admitted on 25-08-2020 by Mr Subir Chandra Chowdhury, Partner, STHAPATYA CONSTRUCTION (Partnership Firm), Dr. Himangshu Gupta Path, Deshabndhu Para, P.O:- Siliguri Town, P.S:- Siliguri, Siliguri Mc, District:-Darjeeling, West Bengal, India, PIN - 734004

Indetified by Mr Subhash Singha, . . Son of Mr Samir Singha, New Milan Pally, P.O: Siliguri, Thana: Siliguri, City/Town: SILIGURI MC, Darjeeling, WEST BENGAL, India, PIN - 734001, by caste Hindu, by profession Law Clerk

Payment of Fees

Certified that required Registration Fees payable for this document is Rs 28/- (E = Rs 28/-) and Registration Fees paid by Cash Rs 0/-, by online = Rs 28/-

Description of Online Payment using Government Receipt Portal System (GRIPS), Finance Department, Govt. of WB Online on 16/08/2020 11:57AM with Govt. Ref. No: 192020210061395805 on 16-08-2020, Amount Rs: 28/-, Bank: ICICI Bank (ICIC0000006), Ref. No. 51171448 on 16-08-2020, Head of Account 0030-03-104-001-16

Payment of Stamp Duty

Certified that required Stamp Duty payable for this document is Rs. 40,030/- and Stamp Duty paid by Stamp Rs 5,000/-
by online = Rs 35,030/-

Description of Stamp

1. Stamp: Type: Impressed, Serial no 312, Amount: Rs.5,000/-, Date of Purchase: 10/08/2020, Vendor name: J Banik
Description of Online Payment using Government Receipt Portal System (GRIPS), Finance Department, Govt. of WB
Online on 16/08/2020 11:57AM with Govt. Ref. No: 192020210061395805 on 16-08-2020, Amount Rs: 35,030/-,
Bank: ICICI Bank (ICIC0000006), Ref. No. 51171448 on 16-08-2020, Head of Account 0030-02-103-003-02



Jiwan Tamang
ADDITIONAL DISTRICT SUB-REGISTRAR
OFFICE OF THE A.D.S.R. SILIGURI
Darjeeling, West Bengal

Certificate of Registration under section 60 and Rule 69.

Registered in Book - I

Volume number 0402-2020, Page from 42150 to 42219

being No 040201176 for the year 2020.



Digitally signed by JIWAN TAMANG
Date: 2020.08.26 13:23:30 +05:30
Reason: Digital Signing of Deed.

Jiwan Tamang

(Jiwan Tamang) 2020/08/26 01:23:30 PM
ADDITIONAL DISTRICT SUB-REGISTRAR
OFFICE OF THE A.D.S.R. SILIGURI
West Bengal.

(This document is digitally signed.)